

APPLICATION NO	PA/2019/662
APPLICANT	Mr Russell Fox
DEVELOPMENT	Planning permission to erect dormer bungalow and attached garage
LOCATION	Land rear 1 Westcombe Court, Scunthorpe, DN16 2AD
PARISH	Scunthorpe
WARD	Kingsway with Lincoln Gardens
CASE OFFICER	Emma Carrington
SUMMARY RECOMMENDATION	Refuse permission
REASONS FOR REFERENCE TO COMMITTEE	Third party request to address the committee

POLICIES

National Planning Policy Framework: Paragraph 11 states that at the heart of the NPPF is a presumption in favour of sustainable development.

Section 5, paragraphs 59-79 relate to delivering a sufficient supply of homes and states that housing applications should be considered in the context of the presumption in favour of sustainable development.

Paragraph 77 states that to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities. For example, where there are groups of smaller settlements, development in one village may support services in a village nearby.

Paragraphs 124-132 state that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

North Lincolnshire Local Plan:

DS1 – General Requirements

DS16 – Flood Risk

H5 – New Housing Development (criteria a-m)

H8 – Housing Design and Housing Mix

T1 – Location of Development

T2 – Access to Development

T19 – Car Parking Provision and Standards

North Lincolnshire Core Strategy:

CS1 – Spatial Strategy for North Lincolnshire

CS2 – Delivering More Sustainable Development

CS3 – Development Limits

CS5 – Delivering Quality Design in North Lincolnshire

CS7 – Overall Housing Provision

CS8 – Spatial Distribution of Housing Sites

CS19 – Flood Risk

CONSULTATIONS

Highways: No objections subject to conditions.

Archaeology: No objections.

PUBLICITY

Neighbouring properties notified raising the following objections:

- the development would be an obtrusive form of development out of keeping with the character of the area
- cramped over-development, close to boundaries with existing properties, reduces amenities to existing and proposed development
- loss of privacy due to overlooking
- visually overbearing and loss of light to habitable rooms
- inappropriate design for the area
- contrary to policies DS1, H8, CS5
- insufficient parking is provided
- increase in noise and air pollution, and extra traffic
- the original application was for a single-storey building; this proposal will take more light away being two-storey.

ASSESSMENT

Planning permission is sought to erect a detached two-bedroomed dormer bungalow with attached garage in the settlement boundary for Scunthorpe. The site is a level grassed area in the middle of a small established residential private drive development, that was

given outline permission in 1990 for five dwellings (6/1990/0364). Three of the approved dwellings have been built (plots 1, 3 and 4). The reserved matters for plots 2 and 5 were never submitted. The original outline permission has, therefore, now lapsed. A garage to serve plot 4 has been built on the site of plot 5.

The main area of the site available for development measures approximately 15.4 metres deep and 16.8 metres wide. The footprint of the proposed dormer bungalow, together with the garage takes up a large area of the site, which results in the property being very close to the boundary on all sides, with a relatively small area of rear private garden.

The main issues in the determination of this planning application are whether the site can accommodate a dwelling without adversely affecting the amenities of the existing neighbouring properties or the character of the area in which it is located and whether the development will provide a satisfactory level of residential amenity for future occupiers.

The site is located within the settlement boundary for Scunthorpe in an established residential area. The principle of development is therefore acceptable and complies with policies in the adopted local plan and Core Strategy. However, the site is relatively small and in very close proximity to a number of existing residential properties. The footprint of the property covers the majority of the site, resulting in very little separation distance from boundaries with surrounding dwellings. The front boundary to the east and side boundary to the north offers only 1.4 metres of separation distance from neighbouring boundaries. The garage is built up to more than half the length of the southern boundary, with the driveway to the front of the garage taking up the remainder of this boundary. The rear garden is approximately 14 metres wide, but ranges from 5 metres deep down to 3.2 metres. The neighbour to the rear has a garage on the boundary, which will have the effect of enclosing this section of the garden for the proposed new dwelling, and reducing the outlook from any habitable room windows in the rear elevation on this side of the property.

The size and scale of the proposed dwelling is considered to be over-development of this limited plot, as it leaves very little private amenity space for future occupiers of the property. The close proximity of the property to the boundaries will result in a development that is overbearing to surrounding neighbours, particularly 3 Westcombe Court. The new dwelling itself will be overlooked by surrounding properties and it is considered that the proposed layout will create a sub-standard form of development, with limited outlook for future residents. The main habitable rooms at ground floor level will either be close to the front boundary with the private driveway and turning area for other properties, which will limit privacy to these rooms, or look towards the rear boundary, which is approximately 3.2 metres with a limited outlook towards neighbouring outbuildings.

A number of objections have been received, concerned about impact on access, the size of the plot, impact on residential amenity, and the design being out of character with the area. Concern has also been raised about the size of the plot, and that the proposal is over-development, with little distance from boundaries with neighbouring properties. These matters have been addressed above.

In relation to highway matters, there are no objections from the highways department in relation to the level and standards of on-site parking provision, or the location and design of the means of vehicular access. Concern has been expressed about vehicular access and

parking for the new property, but the details submitted with the application are considered to be acceptable, and meet the required highway standards.

Comments have also been made that the proposal is out of keeping with the character of the area. Westcombe Court is a small cul-de-sac/private drive development, which currently consists of three detached houses and the current application site, which is an open area of undeveloped grassland. As referred to previously, this site once had the benefit of outline planning permission for five dwellings. However, the layout of the overall development has changed slightly since the 1990 permission. The current plot was approved as a single-storey dwelling, in a different position to the dwelling shown on the current application, and with better separation distances from boundaries and surrounding dwellings. The scale, character and design of the proposed dwelling is considered to be out of keeping with the existing development on the site. The position of the property within the plot creates a cramped, over-development, with a lack of space around it. Although the existing properties on Westcombe Court are larger than the proposed dormer bungalow, they were part of a more comprehensive development for the whole of the site. As the plot boundaries have changed over time, the 'leftover' land from this original development now has a different relationship to the surrounding properties, which will result in a greater impact on the amenities of the existing properties than the approved single-storey dwelling. Although in principle a development on this site would be in accordance with adopted policies, the current proposal does not demonstrate that the site can be developed without having an adverse impact on the amenities of existing and proposed properties, or the character of the area as a whole.

It is considered that the proposal, as submitted, is contrary to the requirements of the adopted local plan policies and guidance in the National Planning Policy Framework, and is recommended for refusal.

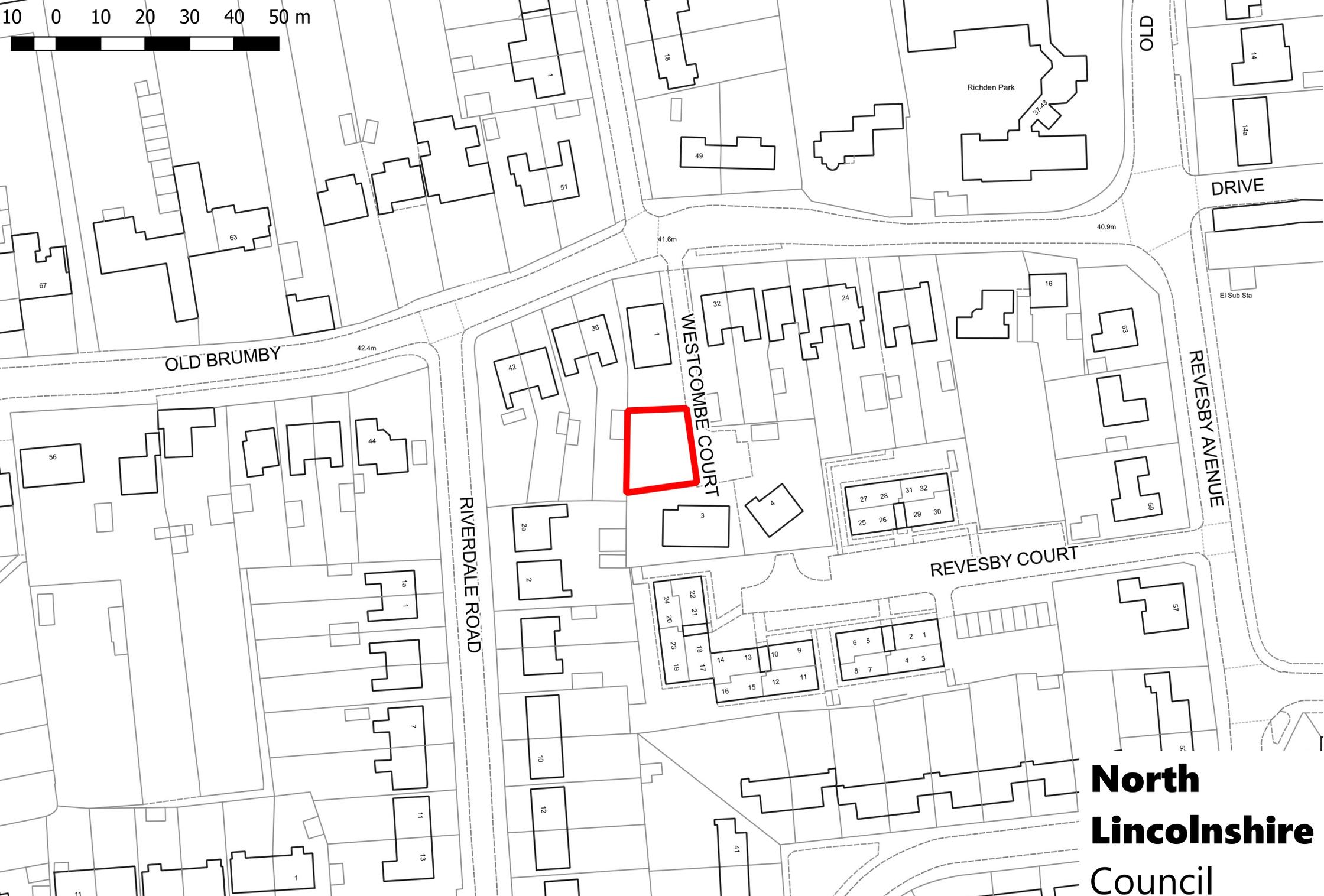
RECOMMENDATION Refuse permission for the following reasons:

The erection of a dwelling on this limited site, built with minimal separation distances from boundaries and with limited amenity space, would create an unacceptable form of cramped over-development by virtue of its scale, mass, form and siting on this relatively small site. The dwelling is also poorly designed and would be out of keeping with the surrounding area. Due to the size of the site and scale of the development proposed, the proposed new dwelling would also provide a poor living environment for future occupiers. In addition, the proposed development is poorly sited in relation to surrounding residential properties, particularly 3 Westcombe Court, and, if approved, would lead to a reduction in residential amenities, by being unduly overbearing to the front and side of this neighbouring dwelling. The proposal is therefore contrary to policies DS1 and H8 of the North Lincolnshire Local Plan, and CS5 of the North Lincolnshire Core Strategy.

Informative

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

10 0 10 20 30 40 50 m

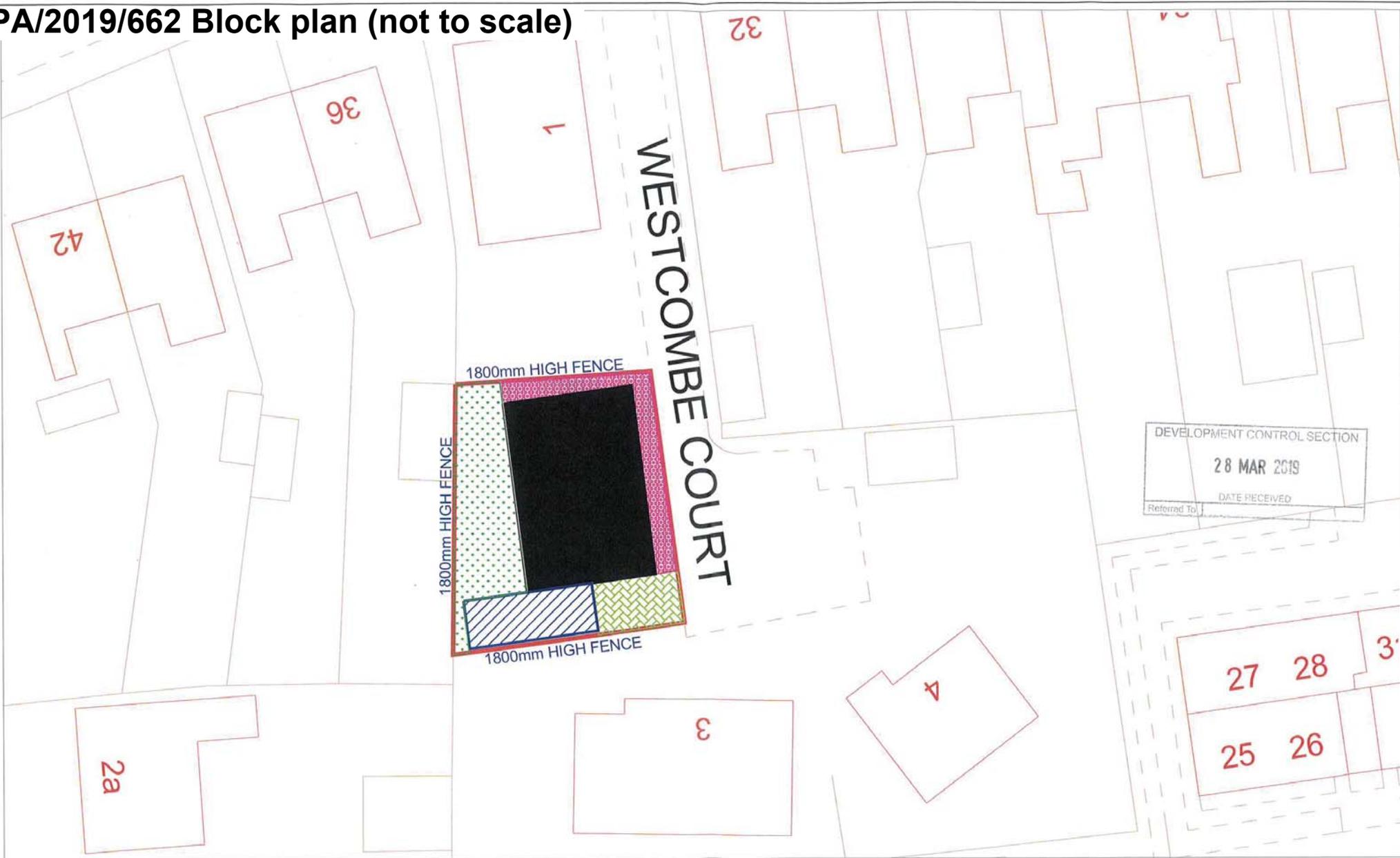


**North
Lincolnshire
Council**

PA/2019/662

© Crown copyright and database rights 2019. Ordnance Survey 0100023560

PA/2019/662 Block plan (not to scale)

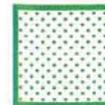


DEVELOPMENT CONTROL SECTION
 28 MAR 2019
 DATE RECEIVED
 Referred To:

KEY

 APPLICATION BOUNDARY FOR DWELLING: 255m² (0.026 HECTARES)

 PROPOSED SINGLE STOREY GARAGE 8.7 Metres * 3.5 Metres (30m²)

 PROPOSED GARDEN TO REAR - 62m²

 PROPOSED DORMA BUNGALOW WITH PITCHED TILED ROOF 12.8 Metres * 8.8 Metres (113m²)

 PROPOSED BLOCK PAVING TO DRIVEWAY - 21m²

 PROPOSED BLOCK PAVING TO FRONT & SIDE OF PROPERTY - 29m²

THIS DRAWING IS PROVIDED FOR THE PURPOSE OF OBTAINING PLANNING PERMISSION AND/OR BUILDING REGULATION APPROVAL. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. THIS DRAWING MUST BE READ AND CHECKED AGAINST ANY STRUCTURAL OR ANY SPECIALIST DRAWINGS PROVIDED. THE CONTRACTOR IS TO COMPLY WITH THE CURRENT BUILDING REGULATIONS WHETHER OR NOT SPECIFIED ON THE DRAWINGS.



Plot: PLOT 2 WESTCOMBE COURT			
SCLANTHORPE			
NORTH LINCOLNSHIRE, DN16 2AD			
Drawing No: SITE BLOCK PLAN			
Drawn By: A. H. CHAM	Scale: 1:200 @ A3	Date: 28/03/2019	Drawn By: A. H. CHAM